



LEVEL 2

Your survey report

Property address

Flat 4, This Block, New Street, Old Town, GH12 3JK

Client's name

Ms BRAIN

Consultation date (if applicable)

Inspection date

January XXXX

Surveyor's RICS number

2

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A

About the inspection and report

This RICS Home Survey – Level 2 (survey only) has been produced by a surveyor, who has written this report for you to use. If you decide not to act on the advice in this report, you do so at your own risk.

A

About the inspection and report

As agreed, this report will contain the following:

- a physical inspection of the property (see 'The inspection' in section L) and
- a report based on the inspection (see 'The report' in section L).

About the report

We aim to give you professional advice to:

- make a reasoned and informed decision on whether to go ahead with buying the property
- take into account any repairs or replacements the property needs, and
- consider what further advice you should take before committing to purchasing the property.

Any extra services we provide are not covered by these terms and conditions, and must be covered by a separate contract.

About the inspection

- We only carry out a visual inspection.
- We inspect roofs, chimneys and other surfaces on the outside of the building from ground level and, if necessary, from neighbouring public property and with the help of binoculars.
- We inspect the roof structure from inside the roof space if there is access (although we do not move or lift insulation material, stored goods or other contents). We examine floor surfaces and under-floor spaces so far as there is safe access to these (although we do not move or lift furniture, floor coverings or other contents). We do not remove the contents of cupboards. We are not able to assess the condition of the inside of any chimney, boiler or other flues. Also, we do not remove secured panels or undo electrical fittings.
- We note in our report if we are not able to check any parts of the property that the inspection would normally cover. If we are concerned about these parts, the report will tell you about any further investigations that are needed.
- We do not report on the cost of any work to put right defects or make recommendations on how these repairs should be carried out. Some maintenance and repairs we suggest may be expensive.
- We inspect the inside and outside of the main building and all permanent outbuildings, but we do not force or open up the fabric of the building. We also inspect the parts of the electricity, gas/oil, water, heating and drainage services that can be seen, but we do not test them.
- To help describe the condition of the home, we give condition ratings to the main parts (the 'elements') of the building, garage and some parts outside. Some elements can be made up of several different parts.
- In the element boxes in sections D, E, F and G, we describe the part that has the worst condition rating first and then briefly outline the condition of the other parts. The condition ratings are described in section B of this report. The report covers matters that, in the surveyor's opinion need to be dealt with or may affect the value of the property.

 **Reminder**

Please refer to your **Terms and Conditions**, that were sent to you at the point you (the client) confirmed your instructions to us (the firm), for a full list of exclusions.



About the inspection

Surveyor's name

D Gawne

Surveyor's RICS number

Company name

Marten & Carnaby Ltd

Date of the inspection

January XXXX

Report reference number

XXXX

Related party disclosure

I have no links with this transaction.

Full address and postcode of the property

Flat 4, This Block, New Street, Old Town, GH12 3JK

Weather conditions when the inspection took place

Bright and dry

Status of the property when the inspection took place

The property stands vacant, and the key was collected from the Estate Agent

B

Overall opinion

This section provides our overall opinion of the property, highlights any areas of concern and summarises the condition ratings of the different elements of the property. Individual elements of the property have been rated to indicate any defects, and have been grouped by the urgency of any required maintenance. If an element is made up of a number of different parts (for example, a pitched roof to the main building and a flat roof to an extension), only the part in the worst condition is shown here.

Important note

To get a balanced impression of the property, we strongly recommend that you read all sections of the report, in particular section K, 'What to do now', and discuss this with us if required.

B

Summary of condition ratings

Overall opinion of property

This property is a purpose built flat in a low rise 1930's mansion block and the flat is date requiring complete modernisation. Defects were found that are typical of properties of this age and type, which will be described within the body of the report, but I would recommend you make further enquiries with the managing agent to establish if there is any scheduled maintenance that could affect you level of service charge contributions, as external defects were noted. However, no major structural defects such as subsidence, landslip or heave were found on inspection.

The property has been affected by some damp/water leaks over the years, as it was noted that there has been an injected resin damp proof course to the left side wall, with historic leaks to some of the ceilings, but these do not appear to be ongoing beyond where damp penetration was found around the ceiling to the bathroom/WC. This could be a leak from the flat above or potentially caused by the external hopper and further investigation should be made.

This report has been prepared solely for the benefit of the named client. No liability is accepted to any third party.

No formal enquiries have been made of the Statutory Authorities or investigations made to verify information as to the tenure and existence of rights or easements.

Where work has been carried out to the property in the past, the surveyor cannot warrant that this has been done in accordance with manufacturer's recommendations, British and European Standards and Codes of Practice, Agreement Certificates and statutory regulations.

It is important that the report should be considered in its entirety before proceeding with your purchase.

B

Summary of condition ratings

To determine the condition of the property, we assess the main parts (the 'elements') of the building, garage and some outside areas. These elements are rated on the urgency of maintenance needed, ranging from 'very urgent' to 'no issues recorded'.

3

Elements that require urgent attention

These elements have defects that are serious and/or need to be repaired, replaced or investigated urgently. Failure to do so could risk serious safety issues or severe long-term damage to your property.

Element no.	Element name	Comments (if applicable)
D6	Outside doors	
E2	Ceilings	
E3	Walls and partitions	
E8	Bathroom fittings	
F1	Electricity	
F2	Gas/oil	
F4	Heating	
F5	Water heating	

2

Elements that require attention but are not serious or urgent

These elements have defects that need repairing or replacing, but are not considered to be either serious or urgent. These elements must also be maintained in the normal way

Element no.	Element name	Comments (if applicable)
D1	Chimney stacks	
D2	Roof coverings	

B

Summary of condition ratings

D3	Rainwater pipes and gutters	
D4	Main walls	
D5	Windows	
D7	Conservatory and porches	
D8	Other joinery and finishes	
E4	Floors	
E5	Fireplaces, chimney breasts and flues	
E6	Built-in fittings (built-in kitchen and other fittings, not including appliances)	
E7	Woodwork	
E9	Other	
F3	Water	
F6	Drainage	



Elements with no current issues

No repair is currently needed. The elements listed here must be maintained in the normal way.

Element no.	Element name	Comments (if applicable)



Summary of condition ratings

NI Elements not inspected

We carry out a visual inspection, so a number of elements may not have been inspected. These are listed here.

Element no.	Element name
D9	Other
E1	Roof structure
F7	Common services
G1	Garage
G2	Permanent outbuildings and other structures
G3	Other

C

About the property

This section includes:

- About the property
- Energy efficiency
- Location and facilities



About the property

Type of property

Purpose built flat

Approximate year the property was built

1930

Approximate year the property was extended

N/A

Information relevant to flats and maisonettes

Ground floor flat in a three storey building.

Construction

The block is constructed using traditional materials and techniques. The outside walls are solid brickwork, finished in facing brick, that are unusually thick brick at a brick and half, with the brickwork and pointing in reasonable condition. The walls are under what is believed to be the original pitched, timber framed, interlocking clay tile covered roofs. The floors are solid concrete at ground floor level with suspended concrete to the upper floors and the inside walls are brick/block. The flat is unaltered from original construction, beyond general modernisation, but it is dated requiring significant upgrading.

Any directions in this report are taken as though standing facing the front elevation of the building.

Accommodation

	Living rooms	Bed-rooms	Bath or shower	Separate toilet	Kitchen	Utility room	Conser-vatory	Other
Ground	1	2	1	1	1			
First								
Second								
Roof space								



Energy efficiency

We are advised that the property's current energy performance, as recorded in the EPC, is as stated below.

We have checked for any obvious discrepancies between the EPC and the subject property, and the implications are explained to you.

Energy efficiency rating

C69

Issues relating to the energy efficiency rating

None known

Mains services

A marked box shows that the relevant mains service is present.

Gas

Electric

Water

Drainage

Central heating

Gas

Electric

Solid Fuel

Oil

None

Other services or energy sources (including feed-in tariffs)

None

Other energy matters

None known



Location and Facilities

Grounds

There are communal grounds that appear to be reasonably well managed and maintained. The boundaries are defined by solid brick walls and while there are some fairly substantial trees in close proximity, the roots do not appear to be affecting the building's foundations. No invasive species, such as Japanese knotweed, were found on site during inspection but its presence cannot be ruled as it is not the growing season and access was somewhat limited to the communal areas.

Location

This is a densely developed, mature suburban area of south London dominated by multiple different types of properties including flats from various eras, 1930's houses and commercial occupiers. The block fronts a busy road (Bxxx) from which some traffic noise etc will have to be accepted.

Facilities

Bus routes are available on New Street and Old Town railway station, which provides access to central London and surrounding areas, is just over half a mile distant. Local shopping facilities are available nearby in Any Town centre with the main centre of Big Town just under two miles to the west, providing all the usual town centre amenities.

Local environment

This area is on somewhat raised ground where the risk of flooding from rivers is considered to be low. However, there is a high risk of surface water flooding, according to the Environment Agency flood maps, and you should take their advice in this respect, as the subject property could be vulnerable being at ground floor level in an isolated area that appears to be directly affected.

D

Outside the property



Outside the property

Limitations on the inspection

I had reasonable access around the outside of the building to make an assessment of its structural condition, but the view of the roof coverings was somewhat limited due to the topography of the site and roof configuration.

D1 Chimney stacks

1 2 3 NI

There are multiple chimney stacks serving the block that are shared. The one serving the subject property to the rear left is constructed of solid brickwork, finished in facing brick and the brickwork and pointing appear to be in reasonable condition, likely having had some replacement cement mortar pointing over the years. There is a mixture of different types of original and replacement pots and the seals between it and the roof covering appear to be sheet and stepped metal flashings that are in reasonable condition, but I had no access for damp testing to the chimney breasts close to the roof line.

2

General repairs and maintenance can be expected in a property if this age, but they will not be responsibility as a leaseholder and no significant defects were noted.

D2 Roof coverings

The roofs are pitched, hipped, timber framed and covered with what appears to be the original interlocking clay tiles. It is therefore old, but a durable type with the tiles satisfactory in place, as far as could be seen, with no significant sag or distortion beyond normal uneven bedding down. The ridge and hip tiles appear to be adequately seated but there have been some patch repairs over the years and ongoing repairs and maintenance can be expected.

2

No significant defects were noted, but you should make further enquiries with the managing agent to establish if there are any scheduled repairs and maintenance that could affect your level of service charge contribution.

D3 Rainwater pipes and gutters

The gutters are mostly half round plastic replacements that appear to be in reasonable condition with no significant staining to joints that would indicate leaks. They discharge in various locations, mostly via original cast iron down pipes that are somewhat corroded, but have been reasonably well maintained. Many of the gullies etc are in relatively poor condition, where there could be some blockages, and general repairs and maintenance will be required. Again, further enquiries should be addressed to the managing agent in this respect.

2

D4 Main walls

The outside walls are constructed of solid brickwork that are unusually thick at a brick and a half wide, which is typical with 1930's mansion blocks, and they are in reasonable condition likely having had some replacement cement mortar pointing to the brickwork joints. There are various steps and projections around the building where no differential movement was noted and the window lintels are soldier courses of brickwork, likely with some concealed timber or concrete,

2

D

Outside the property

where no cracking or distortion was noted around openings that would indicate potential failure. Subsoils in this area are chalk, which is a reliable building foundation and structural movement is unusual. While the building has suffered from some slight uneven bedding down, this is to be expected and is a minor defect that is not thought to have any serious structural significance.

The damp proof course could not be seen but in a building of this age it is likely to be a double layer of slate or possibly bitumen felt. It appears to be performing effectively in general, as no unusually high damp readings were found around the base of the external walls, internally, where accessible to test with a moisture meter. However, it was noted that there are a series of filled drill holes to the left side of the subject property where an injected resin damp proof course has been installed. There has obviously been a historic issue, that could be related to the potential surface water flooding, but this work appears to have been successful as no damp readings were found internally. This type of work usually comes with lengthy guarantees/warranties and I recommend you make further enquiries with the vendor in this respect.



The floors are solid concrete so there is no requirement for underfloor ventilation.

No significant defects were noted to the external walls, which will not be your responsibility to maintain, but the property has obviously been relatively poorly managed as it was noted that there are significant pigeon droppings to the front elevation around old asbestos cement boiler flues etc and cosmetic improvement would be beneficial.

D

Outside the property

D5 Windows

The windows are uPVC double glazed replacements that are Everest and were likely installed or manufactured around 1999, as some dates could be seen in places. They are in reasonable condition and appear to function effectively, but some minor adjustments to latches and hinges could be required in places and a blown glazing pane was noted to a small lower section of the living room. This is not thought to be a significant issue as the glass can be replaced in isolation but some general repairs and maintenance can be expected.

2



There is black mould growth around the window reveals internally, but these do not show any damp readings and is therefore likely due to poor air management where cosmetic improvements will be required.

The windows to the communal areas appear to be original timber framed, single glazed, types that are in particularly poor condition with significant rot and broken glass noted to the stairwell window above the main entrance that will require replacement. You should ensure that an adequate sinking fund has been built up to address these issues and it does not affect your level of service charge contribution.



D

Outside the property

D6 Outside doors (including patio doors)

The main entrance doors into the block are the original timber framed, single glazed, types that are dated and provide poor thermal efficiency/security. They are in reasonable condition, as they are protected by a canopy roof, but the entry phone system also appears to be relatively dated and it could not be verified if it functions effectively.

3

The entrance door into the flat has been recently replaced with a flush panelled composite fire door, which is a current building control requirement, but it has been installed to a poor standard as it does not function properly. The top Yale lock does not catch on the catch plate and the bottom Chubb lock could not be secured from the inside as the key is wider than the key hole cover, which means that the property cannot be secured internally, and only using the Chubb lock externally. It has also been poorly finished with a basic quality undercoat type paint finish and no door number, which should be addressed as a matter of urgency as it affects security.

D7 Conservatory and porches

There is no conservatory or porch but there are canopy roofs above the main entrances that appear to be cast concrete, likely with an asphalt type covering, and defects were noted as there is plant growth at the right side where improvement should be made.

2



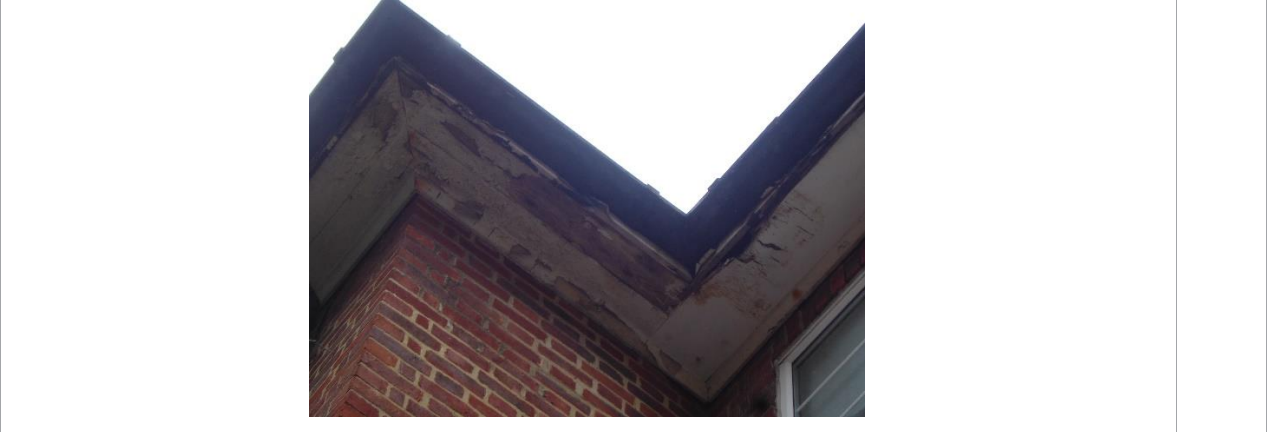
D8 Other joinery and finishes

The outside joinery includes the boards around the edges of the main roof called fascias and soffits. The fascias are the boards from which the gutters are hung, and the soffits are the horizontal boards beneath. These are potentially original painted timbers that are in poor condition with significant peeling paint and some evidence of rot – particularly above the main entrance door to the right side. General repairs and maintenance will be required and you should make further enquiries with the managing agent to establish if there is any scheduled maintenance that could affect your level of service charge contribution.

2

D

Outside the property



D9 Other

None	NI
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E

Inside the property



Inside the property

Limitations on the inspection

The flat stands vacant but the floors are covered that limited inspection somewhat.

E1 Roof structure

1 2 3 NI

I had no access to inspect the interior of the roof frame.

NI

E2 Ceilings

The ceilings are the underside of the suspended concrete floor slab for the flat above and they are therefore solid and reasonably well presented. However, the decorative finishes are dated and there has been historic leaks where there is water staining above the kitchen/bathroom. These are now dry, and would not indicate an ongoing leak, but some damp readings were found to the ceiling and walls around the WC/bathroom where there is significant mould growth to the WC area that could be caused leaks from the external hopper or a leak from bathrooms above that requires further investigation.

3



It was also noted that there are some textured coatings – particularly to the main bedroom and kitchen, which appears to be a textured paint but could also be a textured plaster finish known as Artex. Artex was known to contain an element of asbestos up until the middle 1980's, but the content was relatively low at around 5%. Asbestos is a toxic material not now used in the building industry and the hazard arises from the release of fibres such as when it is worked on and they are inhaled. If they are simply left alone, they are not thought to be a major defect, but you may wish to have them tested to establish if they are an asbestos containing material.

There is some general cracking where decorative improvements will be required and dated timber cladding to the bathroom that limited inspection, but no significant defects were noted, beyond the need for cosmetic improvement and the potential for asbestos containing materials. As such, a condition rating of three has been provided.

E3 Walls and partitions

The inside walls are the original single skin brick or block that appear to be unaltered from original construction. There has been general settlement cracking that is to be expected and has particularly manifested itself on the wall between the kitchen and bathroom with some diagonal cracking. There is also some minor diagonal cracking around a service hatch to the kitchen that

3



Inside the property

has potentially been retro-fitted, but no significant structural defects were noted.

General cosmetic improvements will be required and in a property of this age, there could be some areas of blown plaster, where it has lost the bond with the walls behind, and decorative improvements can be expected.

It was also noted that there is a textured plaster finish to the walls in the kitchen/bathroom that has the potential to be an asbestos containing material, which should be tested at the same time as the ceilings as recommended above.

It could not be established if any of the internal walls are loadbearing structures but there does appear to potentially be a supporting concrete beam above the wall separating the kitchen from the reception room that continues to the hallway.

E4 Floors

The floors are solid concrete and as would be expected with concrete floors they are firm and even underfoot. There is some original parquet to the hallway that likely extends to the bedrooms and living room where there are dated carpet overlays, which could potentially be refurbished if required as this is an attractive finish.

There is dated vinyl to the kitchen, bathroom and WC that is significantly damaged and will require replacement.

2

E5 Fireplaces, chimney breasts and flues

The chimney breast remains in-situ to the main living room but the fireplace has been blocked up to a relatively basic standard, as there are obvious joints where timber/plasterboard filling meets the solid brickwork surround. However, a vent has been installed which is considered to be good quality construction.

No significant defects were noted, but you should have the flue swept and checked if you wish to use it.

It was noted that there are many original asbestos cement boiler flues remaining in-situ externally. As they are external and do not directly affect the subject property, it is not thought to be a significant hazard, but further enquiries with the managing agent is recommended.

2





Inside the property

E6 Built-in fittings (built-in kitchen and other fittings, not including appliances)

There is not much in the way of fitted cabinetry beyond an original block built service cupboard to the hallway that houses the gas meter, where there is a flush panel composite door. It is in relatively poor condition, with some damage to the suspended concrete floor slab above due to the running of services, but this is only a cosmetic issue.

There are fitted wardrobes to the master bedroom that are particularly old and worn with sliding mirrored doors that do not appear to function effectively and general refurbishment will be required.

The kitchen has a particularly dated range of base and wall units that are in poor condition and will require replacement. There is a 1.5 bowl composite sink, freestanding electric oven and no integrated appliances. None of the equipment was tested but modernisation will certainly be necessary.



2

E7 Woodwork (for example staircase joinery)

The woodwork consists of doors, door frames, skirtings, architraves etc.

The doors are unlikely to be original as they are flush panelled composite types that are typical of the 1970's/80's. They function effectively but some general adjustments to latches and hinges will be required along with decorative improvements. There are glazed double doors to the reception room that are potentially original but are unlikely to retain original glass. However, it is unlikely to be safety glass that shatters into small pieces if broken and I would recommend that these are upgraded for health and safety purposes. There is further frosted glazing to the WC and a poor quality concertina type louvered style door to the bathroom that would benefit from upgrading.

The woodwork in general is dated, where decorative improvements will be required, but it is mostly original and in reasonable condition.

2

E8 Bathroom fittings

The property retains the original separate bathroom and WC arrangement that could easily be combined into one space and brought forward into the hallway to make a modern large bathroom, which would certainly be beneficial as there are dated fixtures and fittings. There is a dated enamelled steel bath, ceramic pedestal wash hand basin and a low level WC pan with plastic wall

3



Inside the property

mounted cistern that does not function, as the flush mechanism is defective.



E9 Other

Communal Areas – The communal areas are mostly as originally fitted but they appear to have been reasonably well maintained, beyond external issues such as rot to the single glazed, timber framed windows. There was some work going on during inspection, which was part of the recent regulations for fire doors to be fitted and they were installing a replacement loft trap. I did have a discussion with these contractors who were not responsible for the replacement doors that are defective and further investigation will be necessary.

There are cast concrete stairs with steel balustrades/handrails and some general improvements could be made but no significant defects were noted.

2

F

Services

Services are generally hidden within the construction of the property. This means that we can only inspect the visible parts of the available services, and we do not carry out specialist tests. The visual inspection cannot assess the services to make sure they work efficiently and safely, and meet modern standards.



Services

Limitations on the inspection

Much of the pipework and wiring is concealed and could not be inspected.

F1 Electricity

1 2 3 NI

Safety warning: Electrical Safety First recommends that you should get a registered electrician to check the property and its electrical fittings at least every ten years, or on change of occupancy. All electrical installation work undertaken after 1 January 2005 should have appropriate certification. For more advice, contact Electrical Safety First.

Mains electricity is supplied and the meter is located beneath the base cabinetry to the front left of the kitchen where there is a modern digital meter. The consumer unit is in the same location that is also a relatively modern replacement, which has miniature circuit breaker fusing and it would appear that the flat has been re-wired as there are multiple, relatively modern, sockets where there has been obvious upgrading. You may wish to make further investigation in this respect to establish if there is any certification for this work, but as I am unable to test this type of installation, you should have it tested by a qualified electrician to establish its efficiency before proceeding.

3



F2 Gas/oil

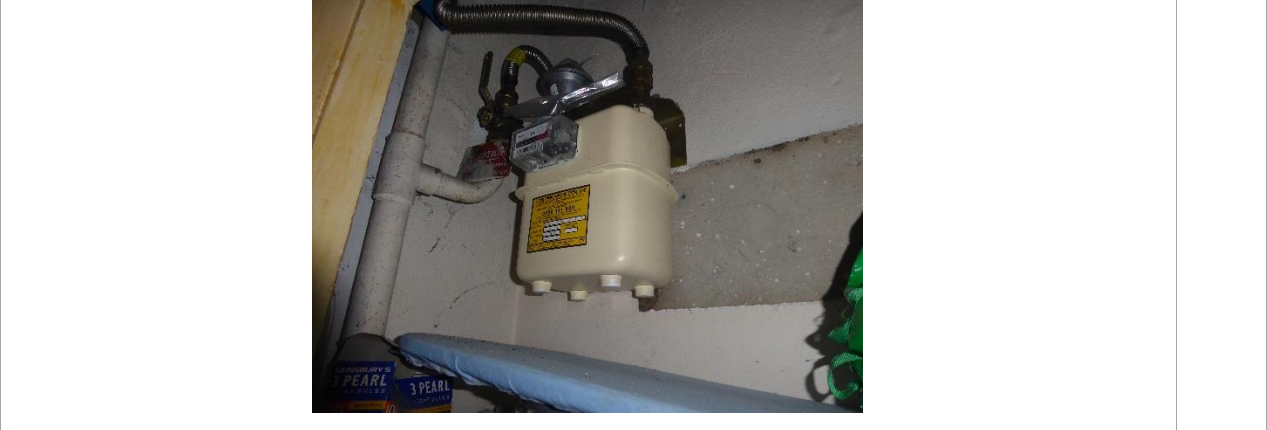
Safety warning: All gas and oil appliances and equipment should be regularly inspected, tested, maintained and serviced by a registered 'competent person' in line with the manufacturer's instructions. This is important to make sure that the equipment is working correctly, to limit the risk of fire and carbon monoxide poisoning, and to prevent carbon dioxide and other greenhouse gases from leaking into the air. For more advice, contact the Gas Safe Register for gas installations, and OFTEC for oil installations.

Mains gas is supplied and the meter is located within the hallway cupboard, which is an old analogue type. Gas is supplied to the kitchen where the boiler is located, as well as capped feed where there would have been a gas fire to the chimney breast. While the system was not tested, it could not be verified if gas was available as the boiler was not functioning during inspection. There is an obvious potential hazard with any mains gas installation, and I recommend that you have it tested by a qualified gas safe or similar contractor to establish its efficiency before proceeding.

3

F

Services



F3 Water

Mains water is supplied and I could not locate an external water stop valve. There appears to be some internal isolation valves beneath the boiler in the kitchen, and at high level to the WC, and you should make further investigations to establish how the mains supply can be isolated.

2

The majority of the pipework is concealed and could not be inspected but where it could be seen it is in copper, with some old steel barrel as well as some lead pipes that appear to be no longer functional.

General modernisation will be required, but all of the water is at mains pressure with no storage tanks and no leaks found to visible pipes.

F4 Heating

The flat is centrally heated by pressed steel radiators that are not new, but they are reasonably modern types that have convector fins and individual thermostatic control valves. The hot water is provided by a Worcester Bosch wall mounted combi boiler that is in the kitchen, with a flue exiting out the side wall, but the system does not function even when turned on and there is an obvious fault.

3

Due to the complexity of this system, and as I am unable to test this type of installation, I recommend that you have it tested by a qualified heating engineer to address the fault and establish its efficiency before proceeding.

F5 Water heating

The same boiler provides the hot water for the tap outlets on demand and while the system was not tested, no hot water was available during inspection as the boiler was not functional. You should have this system tested by the qualified heating engineer at the same time as the central heating system.

3

F

Services



F6 Drainage

Above Ground Drainage – The above ground drainage is at the left side where there is an original cast iron soil vent pipe serving the flats above and where the waste from the WC will also connect. There are also original cast iron hoppers and downpipes that discharge into a gulley taking the kitchen waste, which appears to be in relatively poor condition and potentially blocked with detritus around the outlets. Repairs and maintenance will be required but this will not be your responsibility as it is a shared system.

The internal drainage is by plastic pipework but it is fairly old with potentially perished pipework that could leak and general modernisation would be beneficial.

Below Ground Drainage - No inspection of subterranean drainage was undertaken as this is communal. Any repairs to this will not be your responsibility and will be dealt with by the managing agent and any costs will be recovered via the service charge.

2

F7 Common services

The property has its own services, which are metered, but the drainage will be shared in common with the other flats. Further information on shared drainage should be available from your solicitor.

NI

G

Grounds

(including shared areas for flats)



Grounds (including shared areas for flats)

Limitations on the inspection

I had reasonable access around the plot to make an assessment of its condition.

G1 Garage

1 2 3 NI

None

NI

G2 Permanent outbuildings and other structures

None

NI

G3 Other

None

NI

H

Issues for your legal advisers

We do not act as a legal adviser and will not comment on any legal documents. However, if, during the inspection, we identify issues that your legal advisers may need to investigate further, we may refer to these in the report (for example, to state you should check whether there is a warranty covering replacement windows). You should show your legal advisers this section of the report.



Issues for your legal advisers

H1 Regulation

There have been no changes to this property that would have required any statutory consents or approvals, but further information could be available from your solicitor's searches.

H2 Guarantees

There appear to have been few changes to this property in recent years and I think it unlikely that there will be much in the way of guarantees or warranties that can be transferred on purchase. However, further enquiries should be addressed to the vendor.

H3 Other matters

You should obtain the service charge accounts and budgets to establish if there is any scheduled maintenance that could affect your level of contribution. You should also establish if an appropriate sinking fund has been built up to address ongoing repairs and maintenance. Further information should be available from your solicitor in this respect.

Risks

This section summarises defects and issues that present a risk to the building or grounds, or a safety risk to people. These may have been reported and condition rated against more than one part of the property, or may be of a more general nature. They may have existed for some time and cannot be reasonably changed.



Risks

I1 Risks to the building

Structural Movement - While the building has suffered from some slight uneven bedding down, this is to be expected and is a minor defect which is not considered to have any serious structural significance.

Dampness - Tests were carried out around the base of the external walls, internally, where accessible to test with a moisture meter and no unusually high damp readings were found. The same tests were carried out around window openings and other potentially vulnerable points with the same result. However, there has been a previous damp treatment where further investigation should be made and there are potentially some leaks from the flat above around the bathroom ceiling or from the external hopper.

Timber Defects – There are no visible structural timbers.

I2 Risks to the grounds

Flooding- This area is on somewhat raised ground where the risk of flooding from rivers is considered to be low. However, there is a high risk of surface water flooding, according to the Environment Agency flood maps, and you should take their advice in this respect, as the subject property could be vulnerable being at ground floor level in an isolated area that appears to be directly affected.

I3 Risks to people

Health and Safety Advice - F1 Electrics; F2 Gas; F4 Heating - Lack of test certificates.

Asbestos - E2 Ceilings; E3 Walls and partitions – Potential asbestos containing materials. No further asbestos containing materials were found on inspection but its presences cannot be ruled out to concealed areas.

I4 Other risks or hazards

None

J

Surveyor's declaration



Surveyor's declaration

Surveyor's RICS number

Phone number

020 8661 1818

Company

Marten & Carnaby Ltd

Surveyor's Address

Market House, 216-220 High Street, Sutton, Surrey SM1 1NU

Qualifications

BA (Hons) MRICS

Email

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Property address

Flat 4, This Block, New Street, Old Town, GH12 3JK

Client's name

Ms BRAIN

Date this report was produced

February XXXX

I confirm that I have inspected the property and prepared this report.

Signature

K

What to do now



Further investigations and getting quotes

We have provided advice below on what to do next, now that you have an overview of any work to be carried out on the property. We recommend you make a note of any quotations you receive.

Getting quotations

The cost of repairs may influence the amount you are prepared to pay for the property. Before you make a legal commitment to buy the property, you should get reports and quotations for all the repairs and further investigations the surveyor may have identified. You should get at least two quotations from experienced contractors who are properly insured.

You should also:

- ask them for references from people they have worked for
- describe in writing exactly what you will want them to do and
- get them to put their quotation in writing.

Some repairs will need contractors who have specialist skills and who are members of regulated organisations (for example, electricians, gas engineers, plumbers and so on). You may also need to get Building Regulations permission or planning permission from your local authority for some work.

Further investigations and what they involve

If we are concerned about the condition of a hidden part of the building, could only see part of a defect or do not have the specialist knowledge to assess part of the property fully, we may have recommended that further investigations should be carried out to discover the true extent of the problem.

This will depend on the type of problem, but to do this properly, parts of the home may have to be disturbed, so you should discuss this matter with the current owner. In some cases, the cost of investigation may be high.

When a further investigation is recommended, the following will be included in your report:

- a description of the affected element and why a further investigation is required
- when a further investigation should be carried out and
- a broad indication of who should carry out the further investigation.

Who you should use for further investigations

You should ask an appropriately qualified person, although it is not possible to tell you which one. Specialists belonging to different types of organisations will be able to do this. For example, qualified electricians can belong to five different government-approved schemes. If you want further advice, please contact the surveyor.



Description of the RICS Home Survey – Level 2 (survey only) service and terms of engagement



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The service

The RICS Home Survey – Level 2 (survey only) service includes:

- a physical **inspection** of the property (see 'The inspection' below) and
- a **report** based on the inspection (see 'The report' below).

The surveyor who provides the RICS Home Survey – Level 2 (survey only) service aims to give you professional advice to help you to:

- make an informed decision on whether to go ahead with buying the property
- take into account any repairs or replacements the property needs, and
- consider what further advice you should take before committing to purchasing the property..

Any extra services provided that are not covered by the terms and conditions of this service must be covered by a separate contract.

The inspection

The surveyor inspects the inside and outside of the main building and all permanent outbuildings, recording the construction and significant visible defects that are evident. This inspection is intended to cover as much of the property as is physically accessible. Where this is not possible, an explanation is provided in the 'Limitations on the inspection' box in the relevant section of the report.

The surveyor does not force or open up the fabric of the building. This includes taking up fitted carpets, fitted floor coverings or floorboards; moving heavy furniture; removing the contents of cupboards, roof spaces, etc.; removing secured panels and/or hatches; or undoing electrical fittings.

If necessary, the surveyor carries out parts of the inspection when standing at ground level, from adjoining public property where accessible. This means the extent of the inspection will depend on a range of individual circumstances at the time of inspection, and the surveyor judges each case on an individual basis.

The surveyor uses equipment such as a damp meter, binoculars and torch, and uses a ladder for flat roofs and for hatches no more than 3m above level ground (outside) or floor surfaces (inside) if it is safe to do so.

If it is safe and reasonable to do so, the surveyor will enter the roof space and visually inspect the roof structure with attention paid to those parts vulnerable to deterioration and damage. Although the surveyor does not move or lift insulation material, stored goods or other contents.

The surveyor also carries out a desk-top study and makes oral enquiries for information about matters affecting the property.

Services to the property

Services are generally hidden within the construction of the property. This means that only the visible parts of the available services can be inspected, and the surveyor does not carry out specialist tests. The visual inspection cannot assess the efficiency or safety of electrical, gas or other energy sources. It also does not investigate the plumbing, heating or drainage installations (or whether they meet current regulations); or the internal condition of any chimney, boiler or other flue.



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Outside the property

The surveyor inspects the condition of boundary walls, fences, permanent outbuildings and areas in common (shared) use. To inspect these areas, the surveyor walks around the grounds and any neighbouring public property where access can be obtained. Where there are restrictions to access (e.g. a creeper plant prevents closer inspection), these are reported and advice is given on any potential underlying risks that may require further investigation.

Buildings with swimming pools and sports facilities are treated as permanent outbuildings and are therefore inspected, but the surveyor does not report on the leisure facilities, such as the pool itself and its equipment internally and externally, landscaping and other facilities (for example, tennis courts and temporary outbuildings).

Flats

When inspecting flats, the surveyor assesses the general condition of the outside surfaces of the building, as well as its access and communal areas (for example, shared hallways and staircases that lead directly to the subject flat) and roof spaces, but only if they are accessible from within and owned by the subject flat. The surveyor does not inspect drains, lifts, fire alarms and security systems.

External wall systems are not inspected. If the surveyor has specific concerns about these items, further investigation will be recommended before making a legal commitment to purchase.

Dangerous materials, contamination and environmental issues

The surveyor does not make any enquiries about contamination or other environmental dangers. However, if the surveyor suspects a problem, they should recommend further investigation.

The surveyor may assume that no harmful or dangerous materials have been used in the construction, and does not have a duty to justify making this assumption. However, if the inspection shows that such materials have been used, the surveyor must report this and ask for further instructions.

The surveyor does not carry out an asbestos inspection and does not act as an asbestos inspector when inspecting properties that may fall within *The Control of Asbestos Regulations 2012* ('CAR 2012'). However, the report should properly emphasise the suspected presence of asbestos containing materials if the inspection identifies that possibility. With flats, the surveyor assumes that there is a 'dutyholder' (as defined in CAR 2012), and that there is an asbestos register and an effective management plan in place, which does not present a significant risk to health or need any immediate payment. The surveyor does not consult the dutyholder.



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The report

The surveyor produces a report of the inspection results for you to use, but cannot accept any liability if it is used by anyone else. If you decide not to act on the advice in the report, you do this at your own risk. The report objectively describes the condition of the elements and provides an assessment of the relative importance of the defects/problems. Although it is concise, the RICS Home Survey – Level 2 (survey only) report does include advice about repairs or any ongoing maintenance issues. Where the surveyor is unable to reach a conclusion with reasonable confidence, a recommendation for further investigation should be made.

Condition ratings

The surveyor gives condition ratings to the main parts (the 'elements') of the main building, garage and some outside elements. The condition ratings are described as follows:

- **R** – Documents we may suggest you request before you sign contracts.
- **Condition rating 3** – Defects that are serious and/or need to be repaired, replaced or investigated urgently. Failure to do so could risk serious safety issues or severe long-term damage to your property. Written quotations for repairs should be obtained prior to legal commitment to purchase.
- **Condition rating 2** – Defects that need repairing or replacing but are not considered to be either serious or urgent. The property must be maintained in the normal way.
- **Condition rating 1** – No repair is currently needed. The property must be maintained in the normal way.
- **NI** – Elements not inspected.

The surveyor notes in the report if it was not possible to check any parts of the property that the inspection would normally cover. If the surveyor is concerned about these parts, the report tells you about any further investigations that are needed.

Energy

The surveyor has not prepared the Energy Performance Certificate (EPC) as part of the RICS Home Survey – Level 2 (survey only) service for the property. Where the EPC has not been made available by others, the most recent certificate will be obtained from the appropriate central registry where practicable. If the surveyor has seen the current EPC, they will review and state the relevant energy efficiency and rating in this report. In addition, as part of the RICS Home Survey – Level 2 (survey only) service, checks are made for any obvious discrepancies between the EPC and the subject property, and the implications are explained to you.



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Issues for legal advisors

The surveyor does not act as a legal adviser and does not comment on any legal documents. If, during the inspection, the surveyor identifies issues that your legal advisers may need to investigate further, the surveyor may refer to these in the report (for example, to state you should check whether there is a warranty covering replacement windows).

This report has been prepared by a surveyor merely in their capacity as an employee or agent of a firm, company or other business entity ('the Company'). The report is the product of the Company, not of the individual surveyor. All of the statements and opinions contained in this report are expressed entirely on behalf of the Company, which accepts sole responsibility for them. For their part, the individual surveyor assumes no personal financial responsibility or liability in respect of the report, and no reliance or inference to the contrary should be drawn.

In the case of sole practitioners, the surveyor may sign the report in their own name, unless the surveyor operates as a sole trader limited liability company.

Nothing in this report excludes or limits liability for death or personal injury (including disease and impairment of mental condition) resulting from negligence.

Risks

This section summarises defects and issues that present a risk to the building or grounds, or a safety risk to people. These may have been reported and condition rated against more than one part of the property, or may be of a more general nature. They may have existed for some time and cannot be reasonably changed. If the property is leasehold, the surveyor gives you general advice and details of questions you should ask your legal advisers. The RICS Home Survey – Level 2 (survey only) report will identify and list the risks, and explain the nature of these problems.



Description of the RICS Home Survey – Level 2 (survey only) service and terms of engagement

Standard terms of engagement

1 The service – the surveyor provides the standard RICS Home Survey – Level 2 (survey only) service described in this section, unless you agree with the surveyor in writing before the inspection that the surveyor will provide extra services. Any extra service will require separate terms of engagement to be entered into with the surveyor. Examples of extra services include:

- costing of repairs
- schedules of works
- supervision of works
- re-inspection
- detailed specific issue reports and
- market valuation and reinstatement costs.

2 The surveyor – The service will be provided by an AssocRICS, MRICS or FRICS member of the Royal Institution of Chartered Surveyors (RICS) who has the skills, knowledge and experience to survey and report on the property.

3 Before the inspection – Before the inspection, you should tell us if there is already an agreed or proposed price for the property, and if you have any particular concerns about the property (such as a crack noted above the bathroom window or any plans for extension).

4 Terms of payment – You agree to pay our fee and any other charges agreed in writing.

5 Cancelling this contract – You should seek advice on your obligations under *The Consumer Contracts (Information, Cancellation and Additional Charges) Regulations 2013* ('the Regulations') and/or the *Consumer Rights Act 2015* in accordance with section 2.6 of the current edition of the *Home survey standard* RICS professional statement.

6 Liability – the report is provided for your use, and the surveyor cannot accept responsibility if it is used, or relied upon, by anyone else.

Note: These terms form part of the contract between you and the surveyor.

This report is for use in the UK

Complaints handling procedure

The surveyor will have a complaints handling procedure and will give you a copy if you ask for it. The surveyor is required to provide you with contact details, in writing, for their complaints department or the person responsible for dealing with client complaints. Where the surveyor is party to a redress scheme, those details should also be provided. If any of this information is not provided, please notify the surveyor and ask for it to be supplied.

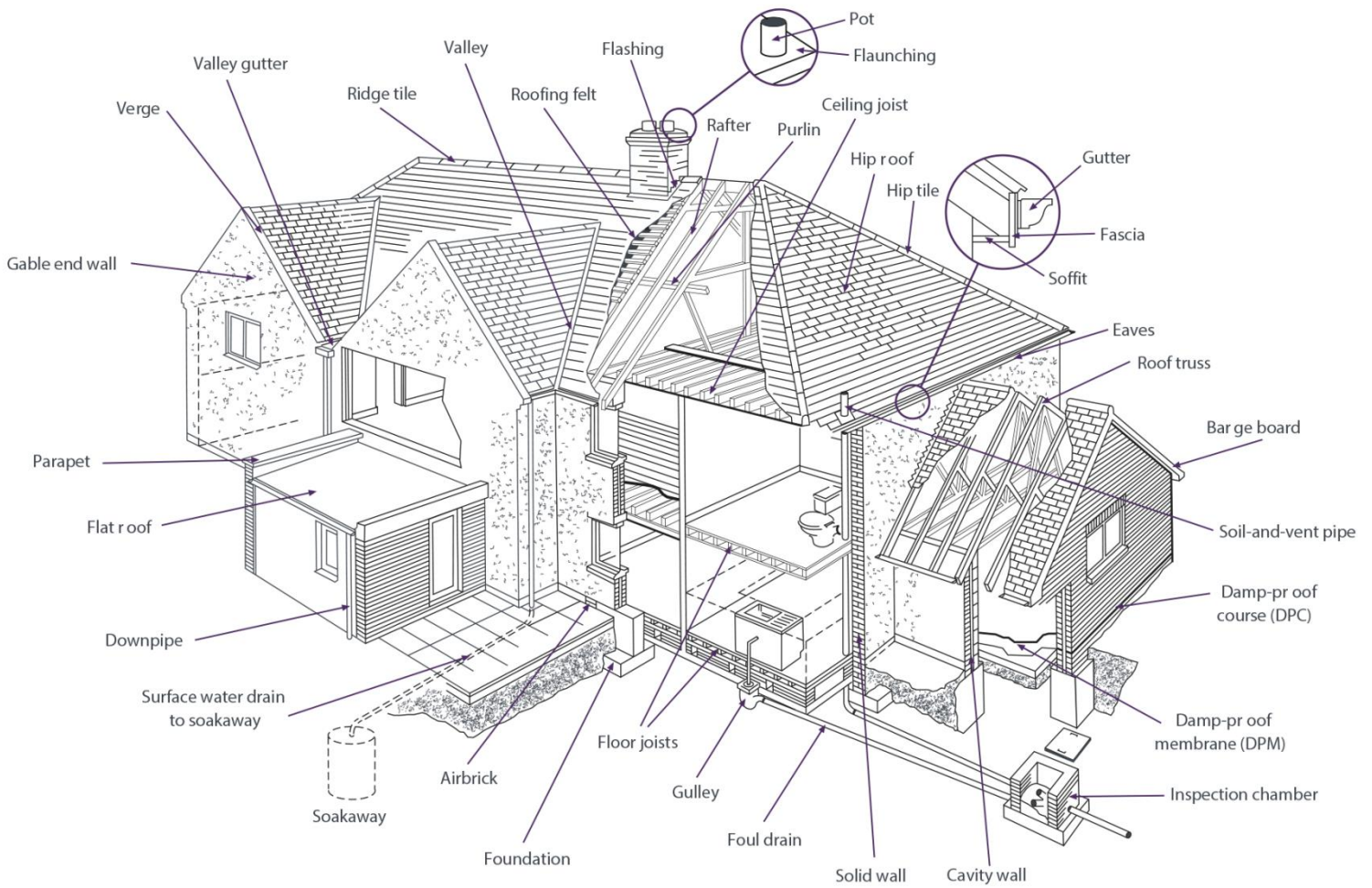
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Typical house diagram



Typical house diagram

This diagram illustrates where you may find some of the building elements referred to in the report.



Glossary of terms

Airbrick	A brick with holes in it by design, used especially underneath timber floors and in roof spaces, to allow ventilation.
Barge Board	Also known as a 'Verge Board'. A board, usually wooden and sometimes decorative, placed on the edge, or verge, of a roof.
Cavity Wall	A wall built with two sets of bricks or blocks, with a gap, or cavity between them. Cavity is usually about 50mm.
Ceiling Joist	Horizontal piece of wood used to support a floor (above), or attach a ceiling (below). Sometimes also metal.
Damp Proof Course (DPC)	A layer of material that cannot be crossed by damp, built into a wall to prevent dampness rising up the wall, or seeping into windows or doors. Various methods can be used.
Damp Proof Membrane (DPM)	A sheet of material that cannot be crossed by damp, laid in solid floors.
Downpipe	A pipe that carries rainwater from the roof of a building.
Eaves	The overhanging edge of a roof.
Fascia	A board, usually wooden, that run along the top of a wall underneath the bottom of a sloping roof.
Flashing	Used to prevent water leaking in at roof joints. Normally made from metal, but can also be cement, felt, or other effective material.
Flat Roof	A roof specifically designed to sit as flat as possible, typically having a pitch of no more than 15 degrees. A flat roof usually has the following components: 1. Waterproofing, 2. Insulation, 3. Vapour Barrier, 4. Substrate or sheathing (the surface that the roof is laid on), 5. Joists, and 6. Plasterboard ceiling.
Flaunching	Shaped cement around the base of chimney pots, to keep the pot in place and so that rain will run off.
Floor Joists	Horizontal piece of wood used to support a floor. Sometimes also metal.
Foul Drain	A pipe that conveys sewage or waste water from a toilet, etc, to a sewer
Foundation	Normally made of concrete, a structural base to a wall to prevent it sinking into the ground. In older buildings foundations may be made of brick or stone.
Gable End Wall	The upper part of a wall, usually triangular in shape, at the end of a ridged roof.
Gulley	An opening into a drain, usually at ground level, so that water etc. can be funnelled in from downpipes and wastepipes.



Glossary of terms

Gutter	A trough fixed under or along the eaves for draining rainwater from a roof.
Hip	The outside of the join where two roof slopes connect.
Hip Roof	A roof where all sides slope downwards and are equal in length, forming a ridge at the top.
Hip Tile	The tile covering the hip of a roof, to prevent rain getting in.
Inspection Chamber	Commonly called a man-hole. An access point to a drain with a removable cover.
Parapet	A low wall along the edge of a flat roof, balcony, etc.
Purlin	A horizontal beam in a roof, on which the roof rafters rest.
Rafter	A sloping roof beam, usually wooden, which forms and supports the roof.
Ridge Tile	The tiles that cover the highest point of a roof, to prevent rain getting in.
Roof Truss	A structural framework, usually triangular and made from wood or metal, used to support a roof.
Roofing Felt	A type of tar paper, used underneath tiles or slates in a roof. It can help to provide extra weather protection.
Soakaway	An area for the disposal of rainwater, usually using stones below ground sized and arranged to allow water to disperse through them.
Soffit	A flat horizontal board used to seal the space between the back of a fascia or barge board and the wall of a building.
Soil-and-vent Pipe	Also known as a soil stack pipe. Typically a vertical pipe with a vent at the top. The pipe removes sewage and dirty water from a building, the vent at the top carries away any smells at a safe height.
Solid Wall	A wall with no cavity.
Surface Water Drain	The drain leading to a soakaway.
Valley	Where two roof slopes meet and form a hollow.
Valley gutter	A gutter, usually lined with Flashing, where two roof slopes meet.
Verge	The edge of a roof, especially over a gable.

RICS disclaimer



You should know...

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